

ZONING BOARD OF ADJUSTMENT - APPLICATION

TOWN OF CHARLOTTE

Planning & Zoning

P.O. Box 119

159 Ferry Road

Charlotte, VT 05445

Phone: 802-425-3533

Fax: 802-425-4241

E-Mail: Gloria@townofcharlotte.com

Office Use Only #ZBA-14.05

Date Received:

RECEIVED

AUG 19 2014

CHARLOTTE PLANNING & ZONING

Note: Decisions of the Zoning Board of Adjustment may be appealed to the Vermont Environmental Court within 30 days of the date of the Board's written decision. Zoning Permits will not be issued so as to become effective prior to the end of that appeal period.

Hearing Date:

Receipt # _____ Application Fee \$500 _____ Appeal Fee \$500 _____ Telecommunications Facilities Fee \$2,000 _____

*APPLICANT/REPRESENTATIVE (if different from owner)

Name JOHN R. ILLICK JR C/O REARCH COMPANY Address 55 COMMUNITY DRIVE S. BURLINGTON, VT 05403 Phone 802 598 6948
Name STEVEN SCHENKER C/O S2 ARCHITECTURE Address 5224 SHELBURNE RD SHELBURNE, VT 05482 Phone 802 985 5595

*Representative must submit a letter from the owner of the property authorizing him/her to represent them for permits, hearings, etc.

Map M4 Block 2B Lot 5027 Parcel ID # 00037-2668 Thompsons Point Lot # 6,7,28 (SITE #27)

Property address 2668 THOMPSON'S POINT RD

Zoning District S5HM Lot size .93 ACRES Lot frontage 150' % of Lot coverage (building) 4.2 (overall) 9.9 Building height 29'-9"

Existing front yard setback 55' Existing side yard setbacks 1. 120' 2. 78' Existing rear yard setback 70'

This application references Zoning Bylaw section(s)

Plot Plan (a plot plan must be submitted showing the lot, existing structures and setbacks, easements, right-of-ways on or abutting the lot, septic primary and replacement areas, well, streams and any other information significant to this application) Submittals no larger than 11" x 17". All measurements must be accurate.

Use attached sheet to list all abutting property owners. Include those across any street, private road or right-of-way.

Applicant will be required to notify adjoining property owners, by certified mail or certificate of service, after a hearing date has been set.

Submit (1) original and (5) copies of complete application.

Application is for: (please check all that apply)

Conditional Use: X Variance: X Thompson's Point Seasonal Dist: Appeal: Other: describe)

Describe your request: (When appropriate, make reference to attached documents, letters, photographs, etc.)

RENOVATION AND ADDITION TO EXISTING CAMP
- ONE BATHROOM ADDED
- ONE BEDROOM BEING REMOVED

APPLICATION MUST BE RECEIVED AT LEAST 23 DAYS PRIOR TO THE HEARING DATE. BE SURE TO COMPLETE ALL SECTIONS OF THE NECESSARY FORMS AND ATTACHMENTS. ONLY COMPLETE APPLICATIONS WILL BE ACCEPTED.

Signature of applicant(s) [Signature] Date 8.18.14

Steven Schenker

Subject: RE: Illick Camp renovation

From: John Illick [<mailto:jillick@vermonttechnologypark.com>]

Sent: Monday, August 18, 2014 3:27 PM

To: Steve Schenker

Subject: Re: Illick Camp plans, elevations and alternate

Steve,

You are authorized to act on my behalf.

John Illick

Sent from my Verizon Wireless 4G LTE DROID

Steven Schenker <steve@s2architecturestudio.com> wrote:

John,
Ok. If you can send me a short note authorizing me to act as the applicant and authorizing me to represent you at permit hearings I will send in the application this week.

Thanks.

Steve

> Steven Schenker
> S2 Architecture
> 5224 Shelburne Road
> Shelburne, VT 05482
> 802 985 5595

Section 5.4 Conditional Use Review

(A) **Applicability.** Any use or structure requiring conditional use approval shall not be issued a zoning permit by the Zoning Administrator until the Board of Adjustment grants such approval in accordance with the Act [§4414(3)], and the following standards and procedures.

(B) **Review Process.** Upon determination that an application is complete, a public hearing will be warned in accordance with Section 9.9(C). In accordance with the Act [§4464(b)] and Section 9.9(E), the Board shall act to approve, approve with conditions, or disapprove on each matter of an application for conditional use review; and shall issue a written decision within 45 days of the date of the final public hearing to include findings, conditions of approval, and provisions for appeal to Environmental Court. Failure to act within the 45 day period shall be deemed approval, effective on the 46th day.

(C) **General Standards.** In accordance with the Act [§4414(3)], the Board shall determine that the proposed conditional use shall not result in an undue adverse effect on any of the following:

(1) **The capacity of existing or planned community facilities and services.** The Board shall consider the demand for community facilities and services that will result from the proposed development in relation to the existing and planned capacity of such services and facilities, and the adopted municipal capital budget and program currently in effect. The Board may request information or testimony from appropriate local officials to help evaluate potential project impacts on existing and proposed community facilities and services. Conditions may be imposed regarding the provision of services and facilities, and/or the timing and phasing of development in relation to anticipated municipal capital expenditures or improvements, to minimize any adverse impacts to community facilities and services.

REMOVING ONE BEDROOM

ADDING ONE BATHROOM

NO INCREASE IN OCCUPANCY

(2) **Character of the area affected.** The Board shall consider the design, location, scale, and intensity of the proposed development in relation to the character of adjoining and other properties likely to be affected by the proposed use. Conditions may be imposed as appropriate to ensure that the proposed development is compatible with the character of the area, as defined by zoning district purpose statements, and specifically stated policies and standards of the municipal plan. Conditions may be imposed as necessary to eliminate or mitigate adverse impacts, including but not limited to conditions on the design, scale, intensity or operation of the proposed use.

DESIGN IS COMPATIBLE W/ SURROUNDING

CHARACTER

(3) **Traffic on roads and highways in the vicinity.** The Board shall consider the potential impact of traffic generated by the proposed development on the capacity, safety, efficiency, and maintenance of roads, highways, intersections, and bridges in the vicinity. A traffic impact assessment may be required. Conditions may be imposed as necessary to ensure that a proposed development will not result in unsafe conditions for pedestrians or motorists, including but not limited to physical improvements on or off site, or the use of accepted traffic management strategies.

NO CHANGE IN OCCUPANCY

- (4) **Bylaws in effect.** The Board shall determine whether the proposed development conforms to other municipal bylaws and ordinances currently in effect, including but not limited to road, water or wastewater ordinances. The Board shall not approve a proposed development that does not meet the requirements of other bylaws and ordinances in effect at the time of application.

NO CHANGES TO SITE UTILITIES

- (5) **The use of renewable energy resources.** The Board will consider whether the proposed development will interfere with the sustainable use of renewable energy resources by either diminishing their future availability on the subject parcel, or by interfering with neighboring property owners' access to such resources (e.g., for solar or wind power). Conditions may be imposed as appropriate to ensure access to and the long-term availability of renewable energy resources.

N/A

(D) **Specific Review Standards.** In addition to general standards under subsection 5.4(C), the Board may also consider the following and impose conditions as appropriate to reduce or mitigate the adverse impacts of a proposed development:

- (1) **Conformance with the Town Plan.** Whether applications conform to policies and objectives of the *Charlotte Town Plan*, and do not adversely affect significant natural, cultural or scenic features identified in the town plan, including natural areas, wildlife habitat, productive forests and farmland, surface waters, wetlands, water supplies and aquifers, historic sites, and scenic views or vistas in the vicinity of the proposed development.

NO IMPACT

- (2) **Additional Restrictions.** All conditional uses shall comply with the dimensional, density, siting and associated standards for the district(s) in which the use or development is located, including overlay districts, however the Board may require increased setbacks and buffers, or reduced lot coverage or densities of development to avoid or mitigate adverse impacts to adjoining properties or significant natural, cultural or scenic features in the vicinity of the site.

DIMENSIONS & SETBACKS ARE NOTED ON DRAWINGS

- (3) **Performance Standards.** The Board shall consider whether the proposed development will meet applicable performance standards under Section 3.1A, and may impose conditions on the installation, operation, storage or maintenance of devices or materials necessary to meet these standards. In determining appropriate performance standards, the Board may consult with state officials, and consider accepted industry standards. In addition, the Board may limit hours of operation so that the use shall be consistent with the character of the area. Evening or night operations shall be permitted only if noise levels, lighting and traffic will not unreasonably interfere with surrounding uses.

Section 3.12 Performance Standards

(A) The following performance standards must be met and maintained for uses in all districts, except for agriculture and forestry, as measured at the property line. In determining compliance, the burden of proof shall fall on the applicant. The Town or a complainant shall be required to provide reasonable proof if challenging compliance after a permit has been issued. The Planning Commission or Board of Adjustment may require periodic reporting as a permit condition to confirm ongoing compliance. No use, under normal conditions, shall cause or result in:

- (1) noise in excess of 70 decibels, or which otherwise represents a significant increase in noise levels in the vicinity of the use so as to be incompatible with the surrounding area; or within the Commercial/ Light Industrial District, noise in excess of 75 decibels;

N/A

- (2) clearly apparent vibration which, when transmitted through the ground, is discernable at property lines without the aid of instruments;

N/A

- (3) smoke, dust, noxious gases, or other forms of air pollution which constitute a nuisance or threat to neighboring landowners, businesses or residents; which endanger or adversely affect public health, safety or welfare; which cause damage to property or vegetation; or which are offensive and uncharacteristic of the affected area;

N/A

- (4) releases of heat, cold, moisture, mist, fog or condensation which are detrimental to neighboring properties and uses, or the public health, safety, and welfare;

N/A

(5) electromagnetic disturbances or electronic transmissions or signals which will repeatedly and substantially interfere with the reception of radio, television, or other electronic signals, or which are otherwise detrimental to public health, safety and welfare, except from facilities which are specifically licensed and regulated through the Federal Communications Commission (FCC).

N/A

(6) glare, lumen, light or reflection which constitutes a nuisance to other property owners or tenants, which impairs the vision of motor vehicle operators, or which is otherwise detrimental to public health safety and welfare;

N/A

(7) liquid or solid waste or refuse which cannot be disposed of by available methods without undue burden to municipal or public disposal facilities, which pollutes surface or ground waters, or which is otherwise detrimental to public health, safety and welfare; or

N/A

(8) undue fire, safety, explosive, radioactive emission or other hazard which endangers the public, public facilities, or neighboring properties, or which results in a significantly increased burden on municipal facilities and services.

N/A

TABLE 2.7 SHORELAND SEASONAL HOME MANAGEMENT DISTRICT (SHM)

(A) Purpose. The purposes of the Shoreland Seasonal Home Management District are (1) to protect and preserve, for seasonal residential use only, those areas of Thompson's Point that have been historically developed for seasonal residential use and have remained essentially unchanged over the years; (2) to protect the unique historic and physical character of these areas; (3) to protect the scenic beauty of the shoreland and lake, as viewed from the lakeshore and the water; (4) to protect the environmental quality of the area and the lake, and (5) to allow for development which does not adversely affect the town's natural and scenic resources or properties and uses in the vicinity, and is compatible with the rural character of the town as expressed in the *Charlotte Town Plan*.

(B) Allowed By Right (No permit needed)

1. Agriculture [see Section 9.2]
2. Forestry [see Section 9.2]

(C) Permitted Uses

1. Dwelling/Seasonal (pre-existing only)

(D) Conditional Uses

1. Accessory Structure [see (F)(2)]
2. Municipal Facility [see (F)(3); Section 4.15]
3. Demolition of an existing structure or portion thereof [see (F)(9)]
4. Alteration of an existing structure [see (F)(7) and (F)(8)]
5. Replacement of an existing structure see (F)(9)]
6. Shoreline Improvements [see (F)(11)]

(E) Dimensional Standards (unless otherwise specified by use type):

Minimum Lot (Leasehold) Area: NA [see F(1)]
Minimum Frontage/Road: Existing
Minimum Frontage/Shore: Existing
Minimum Setback/Front: 50 feet (from ROW)
Minimum Setback/Side: 50 feet
Minimum Setback/Rear: 50 feet
Minimum Setback/Shore: Existing (see (F)(8))

Maximum Height: (Section 3.5): Lesser of 30 ft or 2 stories
Maximum Building Coverage: 7% [see (F)(7)]
Maximum Lot Coverage: 10%

Subdivision: Not allowed
PRDs: Not Allowed
PUDs: Not Allowed

(F) District Standards:

- (1) For the purposes of these regulations, leaseholds shall be considered lots. No further subdivision of leaseholds, other than boundary adjustments that do not result in the creation of additional leaseholds, is allowed.

NO CHANGES

- (2) Accessory structures to allowed residential uses within this district are limited to one structure per leasehold (e.g., a utility shed) that does not exceed eight (8) feet in width, 12 feet in length, or 12 feet in height. Accessory dwellings of any type are specifically prohibited in this district.

ONE EXISTING GAZEBO WILL REMAIN

- (3) Municipal facilities allowed within this district are limited to municipally owned and/or operated outdoor recreational facilities (parks, beaches, lake access, other outdoor facilities and associated accessory structures), and municipal water and wastewater systems.

- (4) In addition to the provisions of Section 3.15, existing native woody vegetation between the shoreline and a structure shall be preserved and maintained. No existing or proposed use or activity shall result in soil erosion or adversely impact designated wildlife habitat areas. All trees on leased lots are owned by the Town, and permission from the Tree Warden shall be required for cutting or pruning within this district. Dead or storm damaged trees shall not be cut unless they are determined by the Tree Warden to be a hazard to structures or to public safety.

NO CHANGES PROPOSED

- (5) Ordinary maintenance and repair of an existing structure which does not alter its footprint, height, appearance or historic character does not require a zoning permit.

N/A

- (6) No construction activity other than routine maintenance shall occur within this district between July 1 and Labor Day.

- (7) The alteration or expansion of an existing principal structure may be approved by the Board of Adjustment subject to conditional use review under Section 5.4, provided that:

- (a) the building footprint which is covered by a roof (including covered porches and decks) does not exceed seven percent (7%) of the area of the leasehold it occupies; and

SEE SITE PLAN - DOES NOT EXCEED 7%

- (b) the alteration or expansion is not for the purpose of increasing occupancy; and

NO INCREASE IN OCCUPANCY

- (c) the applicant can demonstrate that all municipal and state regulations for sewage disposal are met for each structure altered or expanded including, where applicable, the Thompson's Point Wastewater System Sewer Ordinance.

NO CHANGES PROPOSED

(8) The alteration, expansion or repair of any structure shall not reduce the structure's existing setback distance from the shoreline (mean high water mark) as of the effective date of these regulations, nor increase the height of the structure so that it exceeds two (2) stories or 30 feet, whichever is less.

NO CHANGE TO SETBACK FROM LAKE
IS PROPOSED

(9) Demolition and alterations, expansions or repairs that change the appearance, height, footprint or historic character of an existing structure are subject to conditional use under Section 5.4, design review under Subsection (G), and the requirements of Section 3.1. Historic structures damaged beyond repair may be replaced within the same footprint, subject to conditional use review under Sections 5.4, and design review under Subsection (G).

SEE DRAWINGS

(10) Temporary docks which are wooden or metal, used only for noncommercial purposes, are mounted on piles or floats, and removed at the end of each season do not require a zoning permit if the total (combined) length of all docks under single ownership does not exceed 50 feet (from Mean High Water), and the total (combined) area of all docks, including deck areas, does not exceed 500 square feet. No concrete, masonry, earth or rock fill, sheet piling, bulkheading, cribwork, or similar construction may form any part of the dock. Other types of docks shall be considered shoreline improvements.

NO CHANGES PROPOSED

(11) Shoreline improvements are exempted from shoreline setback requirements, but shall be sited and designed to avoid wetlands, designated wildlife habitat, and other sensitive shoreline features; shall minimize surface runoff, channeling and soil erosion; and shall avoid adverse impacts and obstructions to adjoining shoreland areas.

N/A

SHORELAND SEASONAL HOME MANAGEMENT DISTRICT

TOWN OF CHARLOTTE PLANNING & ZONING
P.O. BOX 119
CHARLOTTE, VERMONT 05445-0119
Phone 802-425-3533

FOR OFFICE USE ONLY:
Application No: _____ Date Received: _____
DRC Report: _____ ZBA Hearing: _____

Property owner: JOHN R. ILLICK, JR.
Address: 40 REARCH COMPANY
55 COMMUNITY DRIVE
S. BURLINGTON, VT 05403
Telephone: 802 598 6948

*Applicant's name: STEVEN SCHENKER
Address: 40 52 ARCHITECTURE
5224 SHELBURNE RD
SHELBURNE, VT 05482
Telephone: 802 985 5595

**If applicant and owner are not the same, applicant must attach a letter of authorization from the owner.*

Location of property: THOMPSON'S POINT
Tax Map No: Map M4 Block 2B Lot 50L27
Deed Reference: Volume _____ Page _____ Date _____
Lot size: .93 ACRES
Size determined from? Survey _____ Deed _____ tax map X
Is this property on the Historic Register? Yes _____ No X
Will this request require the cutting of any trees? Yes _____ No X
If yes, describe the type and size of tree(s) and locate them on the plot plan.

In square feet, what is the building footprint which is covered by a roof (including covered porches and covered decks)? 1,730 SF
Is this request for the demolition or removal of an existing structure? Yes _____ No X
Will this alteration or expansion increase the footprint which is covered by a roof? Yes X No _____
If yes, what is the number of square feet in the expansion? 350
What will be the total square feet of the building footprint covered by a roof after the expansion?(or demolition) 2,080 total square feet
What is the total amount of square feet not covered by a roof? 38,425

List the total number of the existing rooms and their use.
14 - SEE FLOOR PLANS

Give the building footprint as a percent of lot size: (Maximum allowed is 7%)
Existing 4.2% Proposed 5%
Building height: existing 29'-9" feet proposed 29'-9" feet

List the total number of proposed rooms and their use.
14 - SEE FLOOR PLANS

Will the alteration or expansion be for the purpose of increasing occupancy of the structure? Yes _____ No X
Explain:
Will there be any change in the plumbing? Yes X No _____
Explain:
1 BATHROOM WILL BE ADDED

Before Conditional Use approval by the Zoning Board of Adjustment for alteration or expansion of existing principal structures in the Shoreland Seasonal Home Management District, the applicant must be able to demonstrate that all provisions and conditions of the Town of Charlotte Sewage Ordinance and all applicable regulations for sewage disposal including, where applicable, the Thompson's Point Wastewater system Sewer Use Ordinance and the State of Vermont Indirect Discharge Permit for the Thompson's Point Wastewater System, are met for each structure altered or expanded.

- Applicants are to submit separate site plans drawn to scale. The drawings submitted with this application will be the same drawings submitted with your application to the Zoning Board of Adjustment.
- ___ site plan of property and structures as they exist
 - ___ site plan of property and structures as proposed
 - ___ drawings of existing floor plan showing use of each room
 - ___ drawings of proposed alterations/expansion and floor plan showing use of each room
 - ___ legal property boundaries
 - ___ setbacks to all property lines, shoreline (98 feet mean high water mark)
 - ___ all buildings and structures on neighboring lots that are within 50 feet of the property line
 - ___ existing features (include topography, natural resources, existing structures, roads, easements, rights of way, deed restrictions)
 - ___ proposed structures, roads, driveways
 - ___ proposed landscaping, screening, site grading, drainage
 - ___ water supply and sewage disposal locations
 - ___ elevations for new alterations or expansion
 - ___ specifications of the materials to be used
 - ___ photographs of the property showing existing structures
 - ___ any other supporting information that will help the Design Review Committee understand the project

The application shall not be deemed complete until all of the applicable materials above have been submitted.

CERTIFICATION

I certify that the information on this application, and all accompanying material, is accurate and complete to the best of my knowledge and belief.

Signature of Applicant

Steven Schenker

3.18.14

Date

(G) **District Design Review Standards.** Before granting conditional use approval for any alteration, expansion, demolition, or removal of any portion of any principal structure in this district, the Board of Adjustment shall seek the recommendations of the Design Review Committee, based on information found in the Historic Sites and Structures Survey for the Town of Charlotte, prepared by the Vermont Division for Historic Preservation, and the report titled "A Natural and Cultural Resource Inventory and Planning Recommendations for Thompson's Point, Charlotte, Vermont" (September 1990, as may be amended). Copies of both reports are available for review at the Planning and Zoning Office. In addition, the Committee's recommendation to the Board shall include its findings with regard to the following design review criteria:

(1) The size, scale, style, design and materials of any structural alteration, expansion or replacement are consistent and harmonious with existing structures, and with the overall historic and aesthetic character of the area.

PLEASE SEE ELEVATION DRAWINGS

(2) Natural features should be identified.

NO CHANGES TO NATURAL FEATURES
ARE PROPOSED

(3) Alterations or additions to an historic structure shall preserve the historic appearance of the structure and not alter the structure's historic integrity.

PLEASE SEE ELEVATION DRAWINGS

(4) Alterations to existing structures and new structures within the district shall be compatible with the visual elements of surrounding historic structures and the overall historic and aesthetic character of the area.

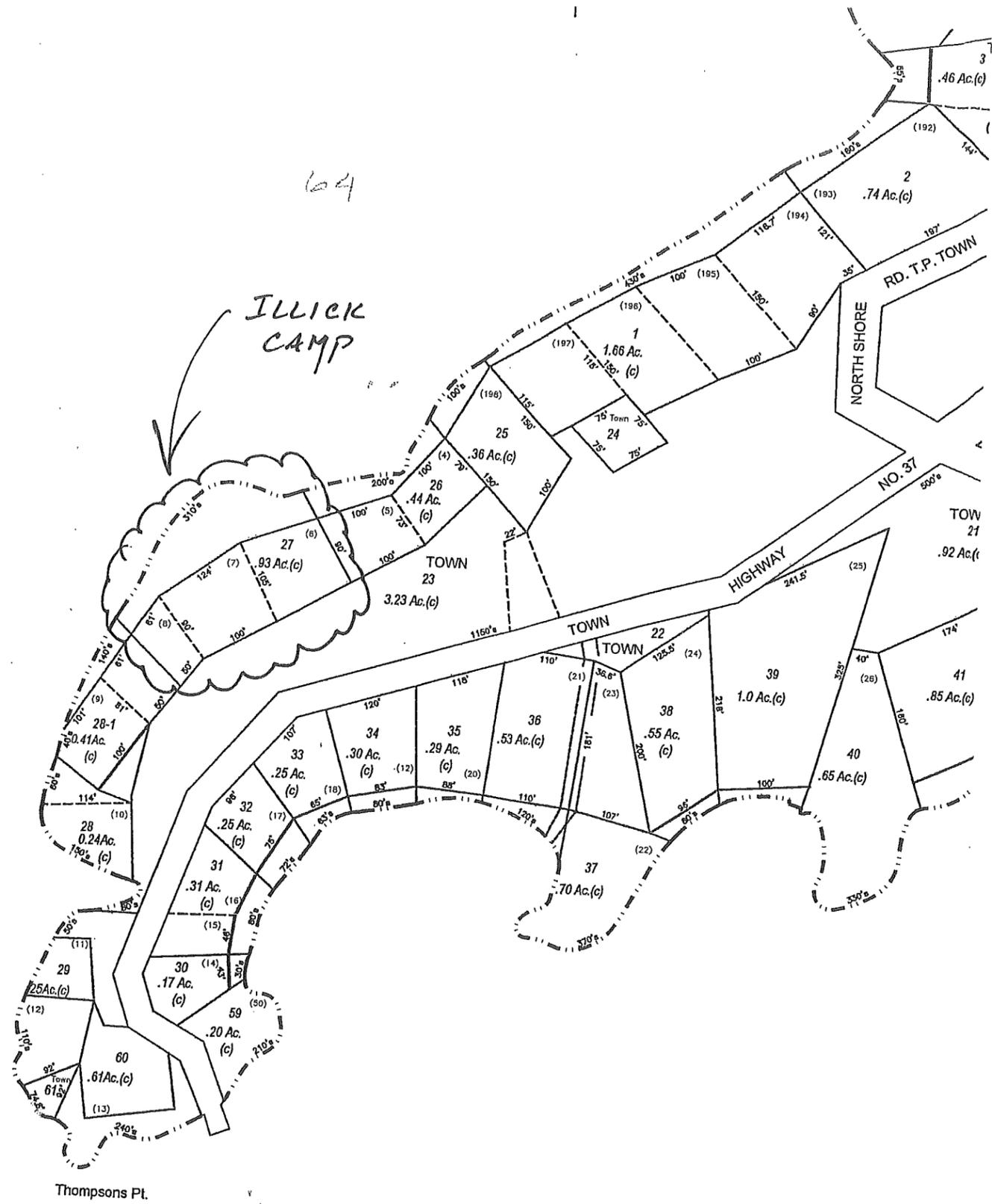
" " "

(5) The demolition of structures of historic significance shall be discouraged.

NO DEMOLITION IS PROPOSED

64

ILLICK
CAMP



Thompsons Pt.

ILLICK CAMP

THOMPSON'S POINT, CHARLOTTE, VT

DRAWING LIST

A0	COVER SHEET
A1	SITE PLAN - EXISTING
A2	SITE PLAN - PROPOSED
A3	EXISTING CONDITIONS PHOTOS
A4	FIRST FLOOR PLAN - EXISTING & PROPOSED
A5	SECOND FLOOR PLAN - EXISTING & PROPOSED
A6	ATTIC PLAN - EXISTING & PROPOSED
A7	ROOF PLAN - EXISTING & PROPOSED
A8	SOUTH ELEVATION - EXISTING & PROPOSED
A9	EAST ELEVATION - EXISTING & PROPOSED
A10	NORTH ELEVATION - EXISTING & PROPOSED
A11	WEST ELEVATION - EXISTING & PROPOSED

RECEIVED

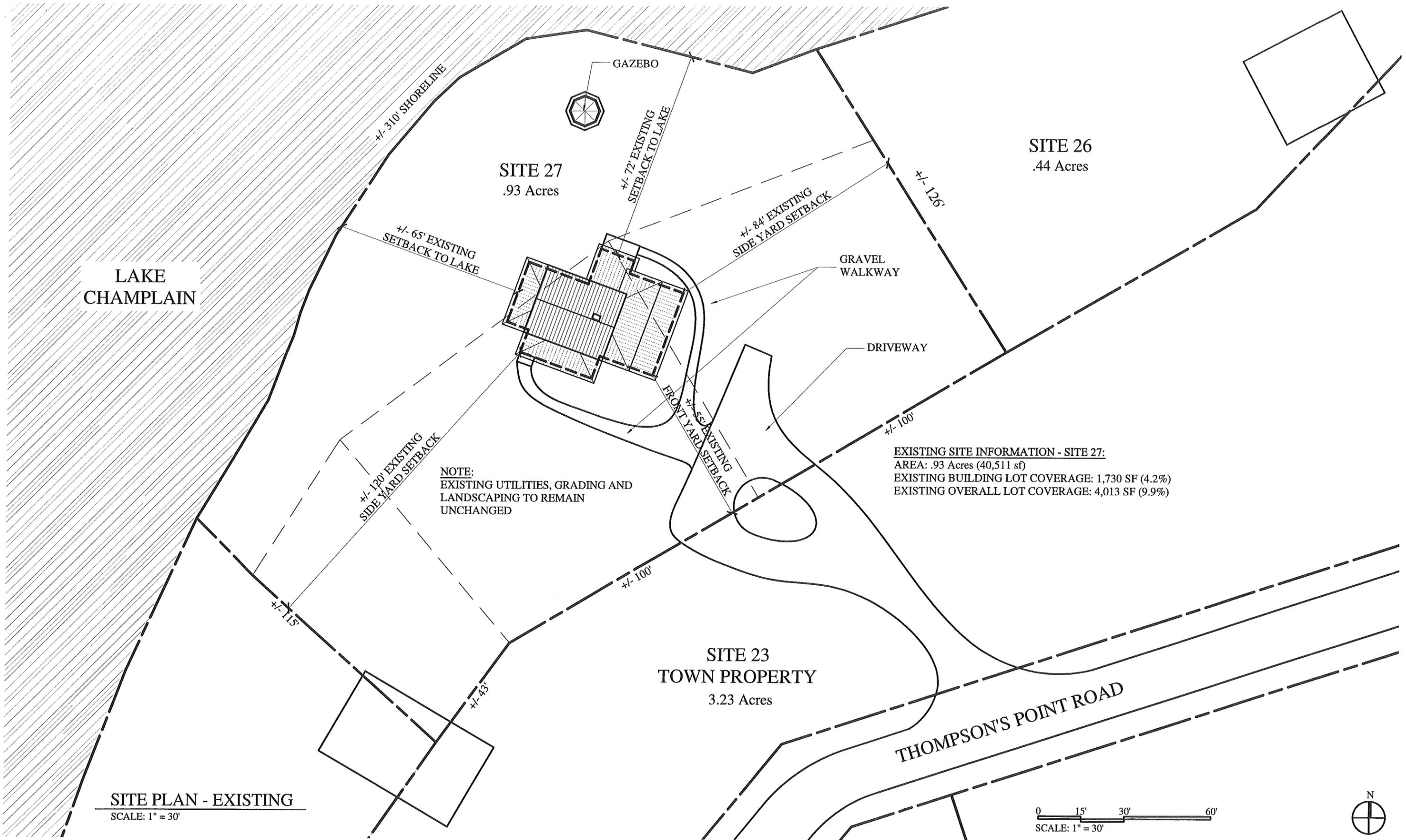
AUG 27 2014

CHARLOTTE
PLANNING & ZONING

RECEIVED

AUG 27 2014

CHARLOTTE
PLANNING & ZONING



LAKE
CHAMPLAIN

SITE 27
.93 Acres

SITE 26
.44 Acres

SITE 23
TOWN PROPERTY
3.23 Acres

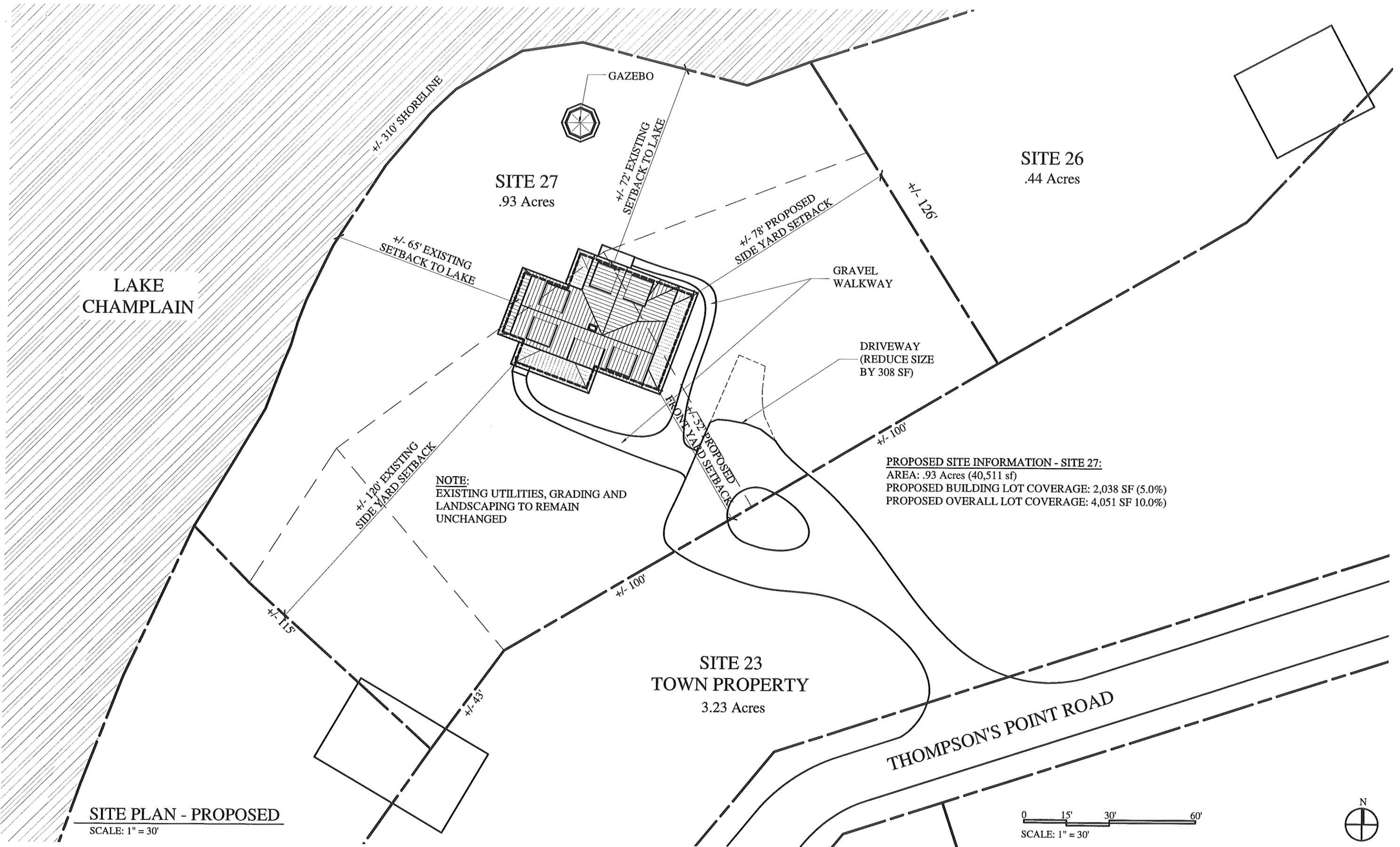
NOTE:
EXISTING UTILITIES, GRADING AND
LANDSCAPING TO REMAIN
UNCHANGED

EXISTING SITE INFORMATION - SITE 27:
AREA: .93 Acres (40,511 sf)
EXISTING BUILDING LOT COVERAGE: 1,730 SF (4.2%)
EXISTING OVERALL LOT COVERAGE: 4,013 SF (9.9%)

SITE PLAN - EXISTING
SCALE: 1" = 30'

0 15' 30' 60'
SCALE: 1" = 30'





LAKE
CHAMPLAIN

SITE 27
.93 Acres

SITE 26
.44 Acres

GAZEBO

+/- 310' SHORELINE

+/- 72' EXISTING
SETBACK TO LAKE

+/- 65' EXISTING
SETBACK TO LAKE

+/- 78' PROPOSED
SIDE YARD SETBACK

+/- 126'

GRAVEL
WALKWAY

DRIVEWAY
(REDUCE SIZE
BY 308 SF)

+/- 120' EXISTING
SIDE YARD SETBACK

NOTE:
EXISTING UTILITIES, GRADING AND
LANDSCAPING TO REMAIN
UNCHANGED

PROPOSED SITE INFORMATION - SITE 27:
AREA: .93 Acres (40,511 sf)
PROPOSED BUILDING LOT COVERAGE: 2,038 SF (5.0%)
PROPOSED OVERALL LOT COVERAGE: 4,051 SF 10.0%

SITE 23
TOWN PROPERTY
3.23 Acres

THOMPSON'S POINT ROAD

SITE PLAN - PROPOSED
SCALE: 1" = 30'

0 15' 30' 60'
SCALE: 1" = 30'

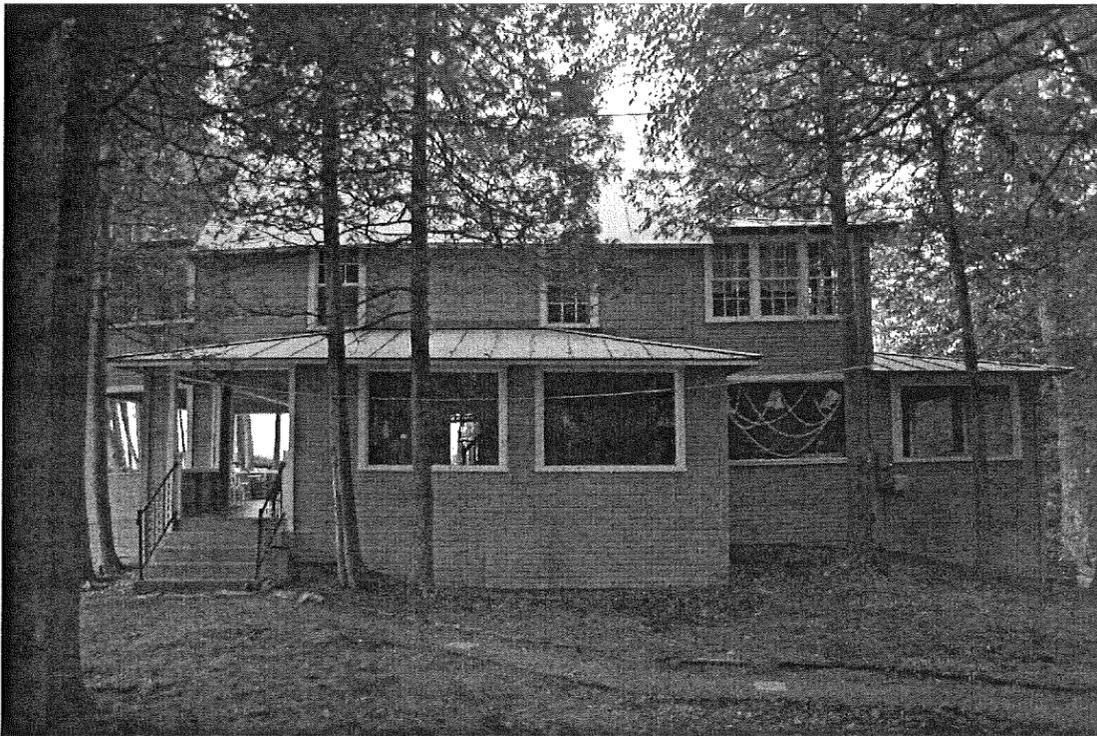




VIEW OF EXISTING WEST ELEVATION



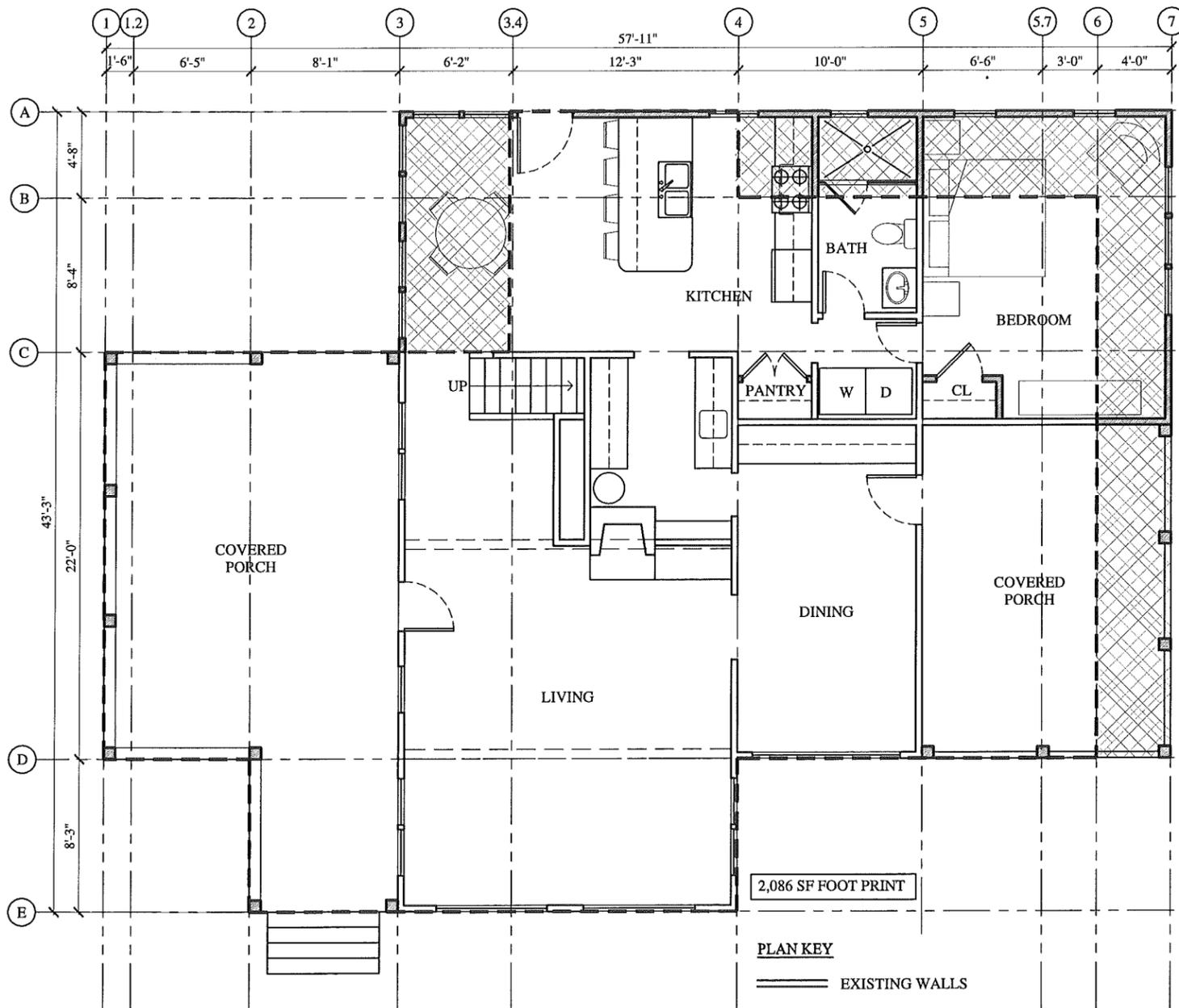
VIEW OF EXISTING EAST ELEVATION



VIEW OF EXISTING SOUTH ELEVATION

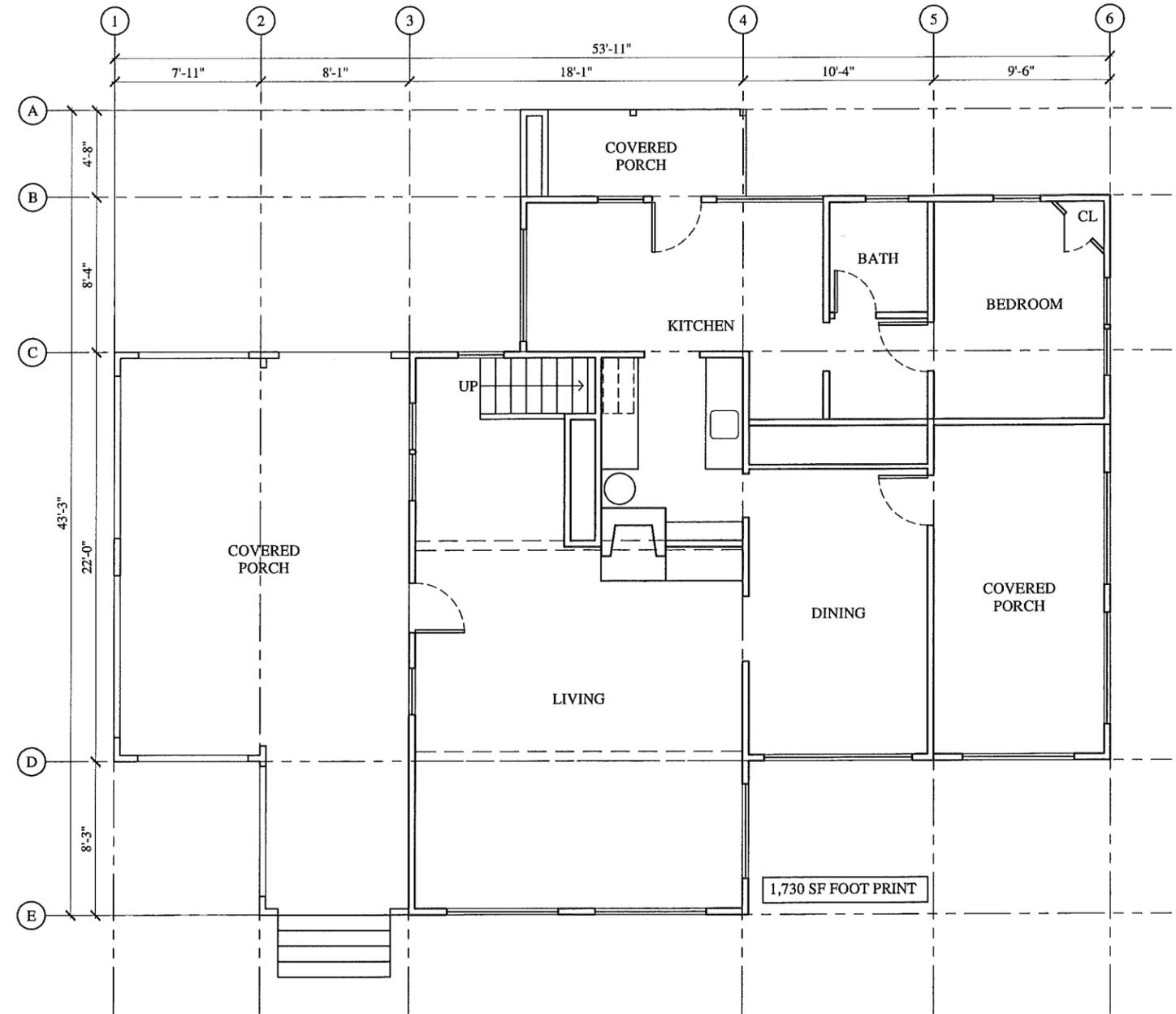


VIEW OF EXISTING NORTH ELEVATION



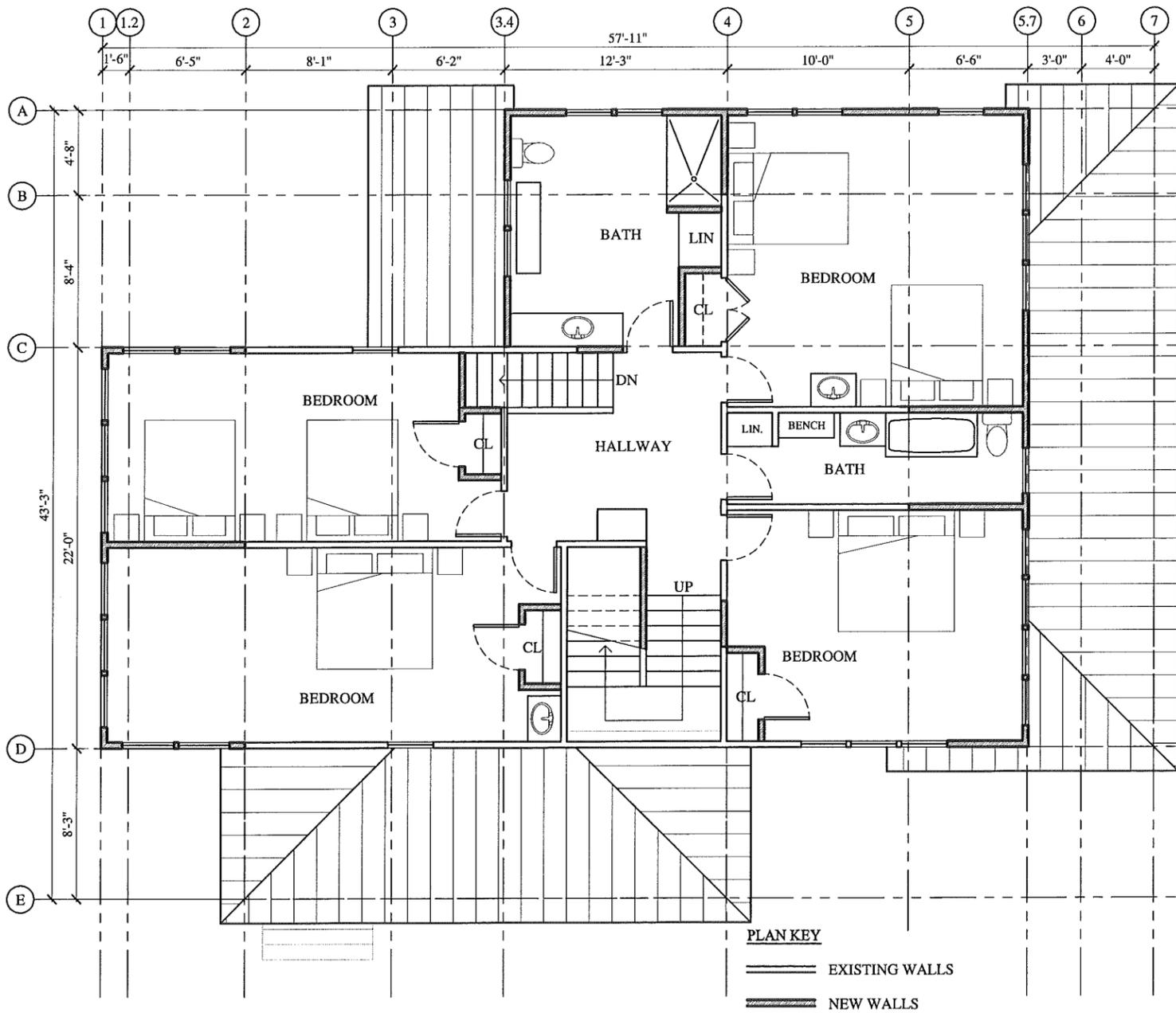
FIRST FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



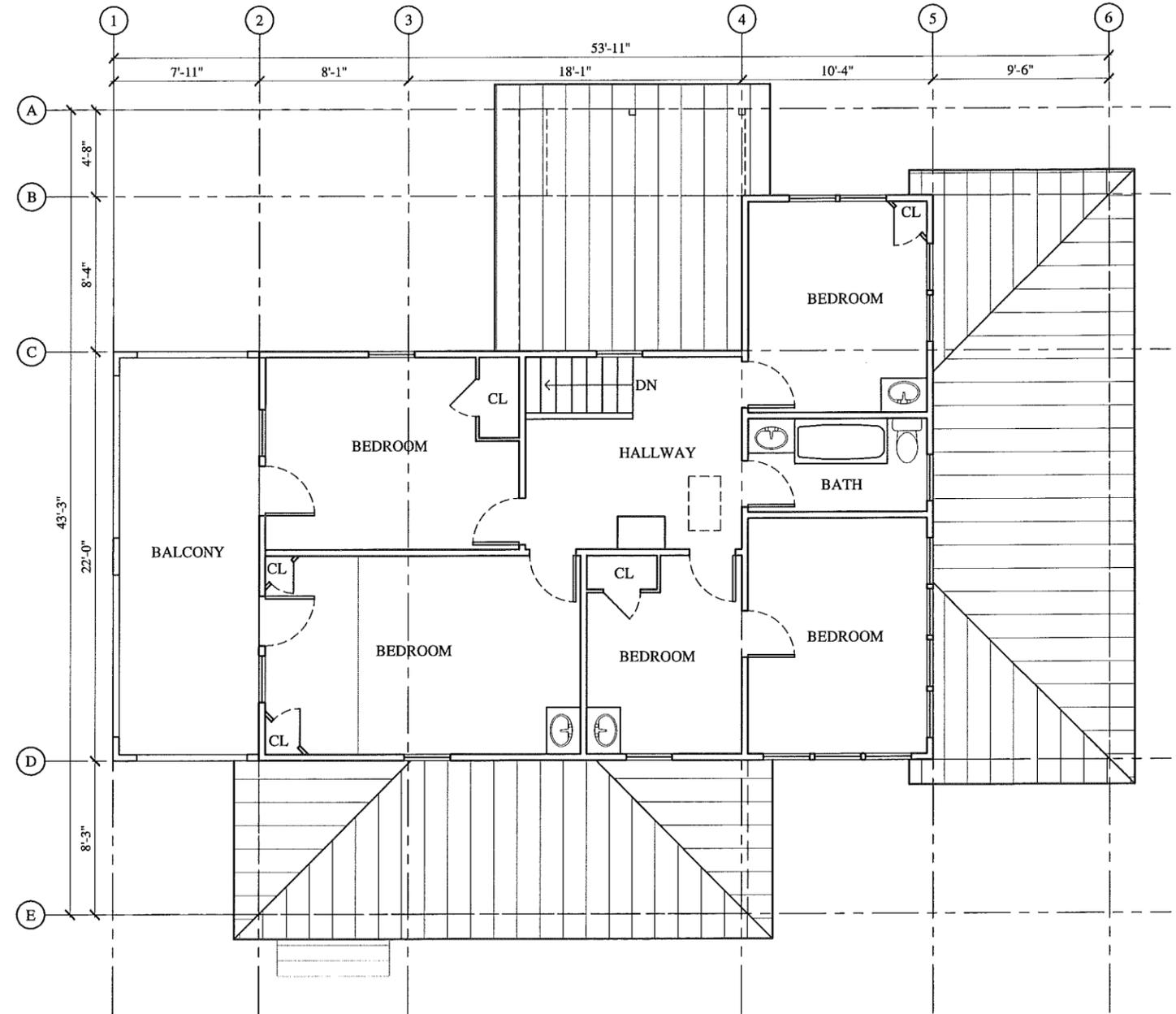
FIRST FLOOR PLAN - EXISTING

SCALE: 1/8" = 1'-0"



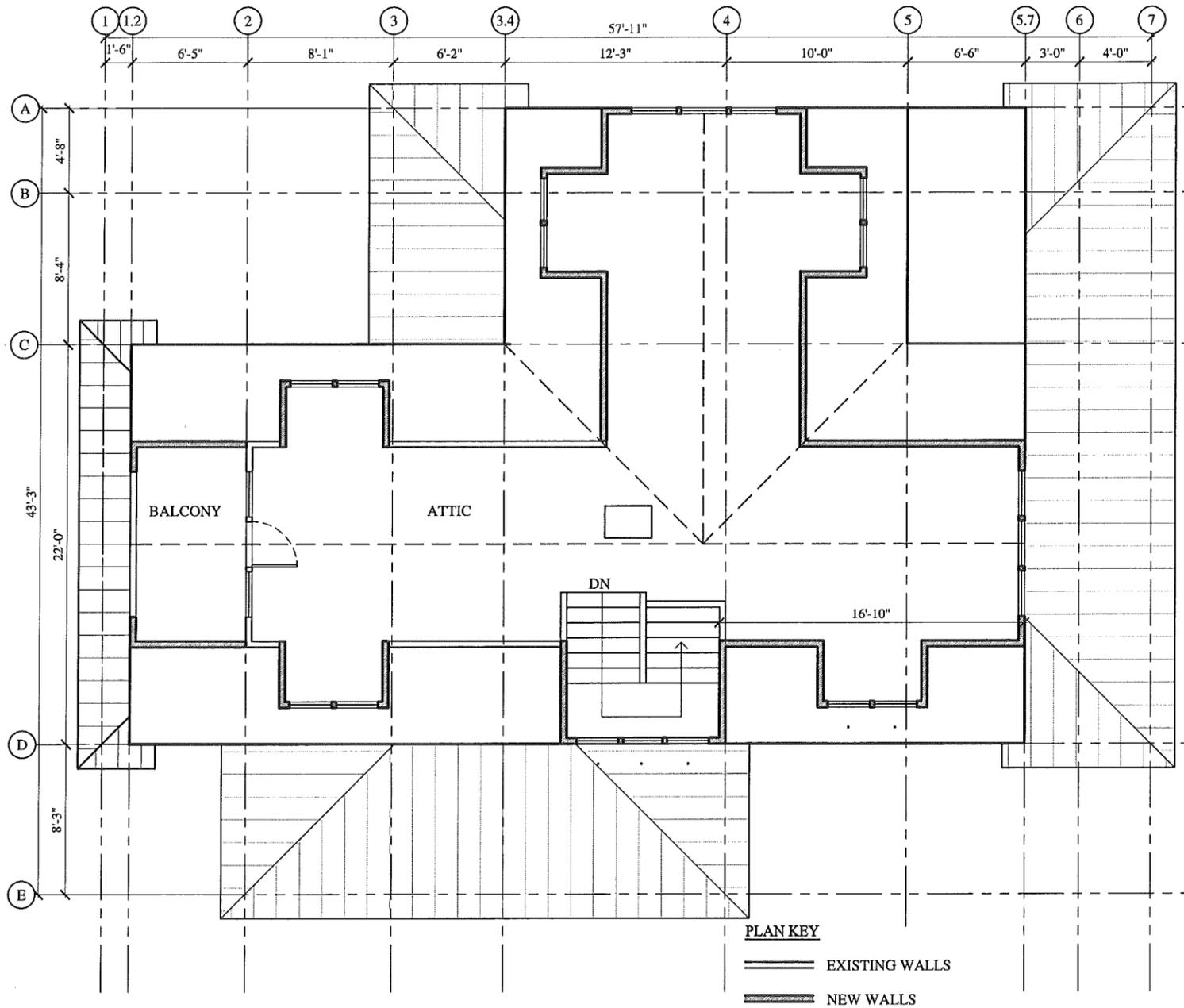
SECOND FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



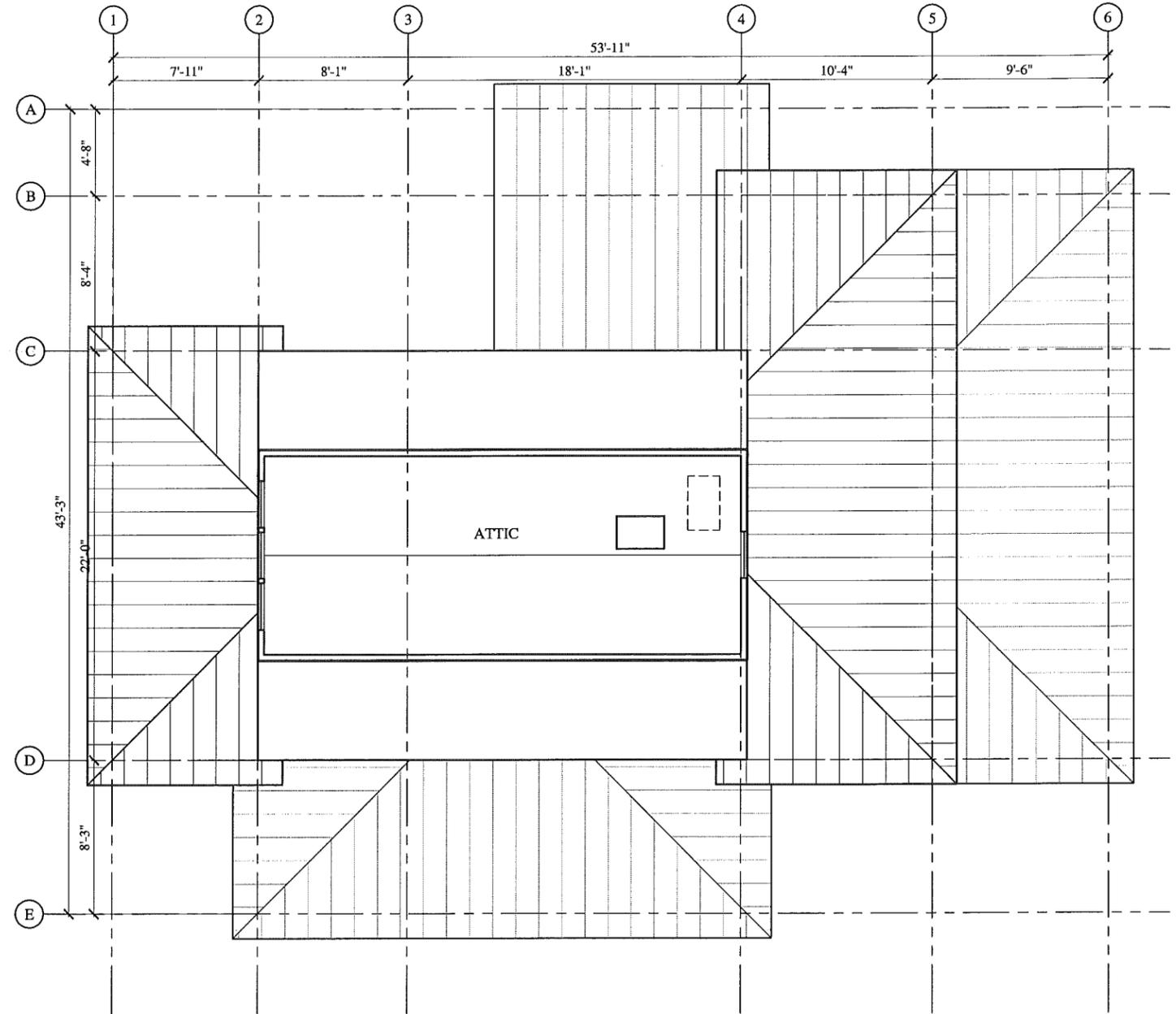
SECOND FLOOR PLAN - EXISTING

SCALE: 1/8" = 1'-0"



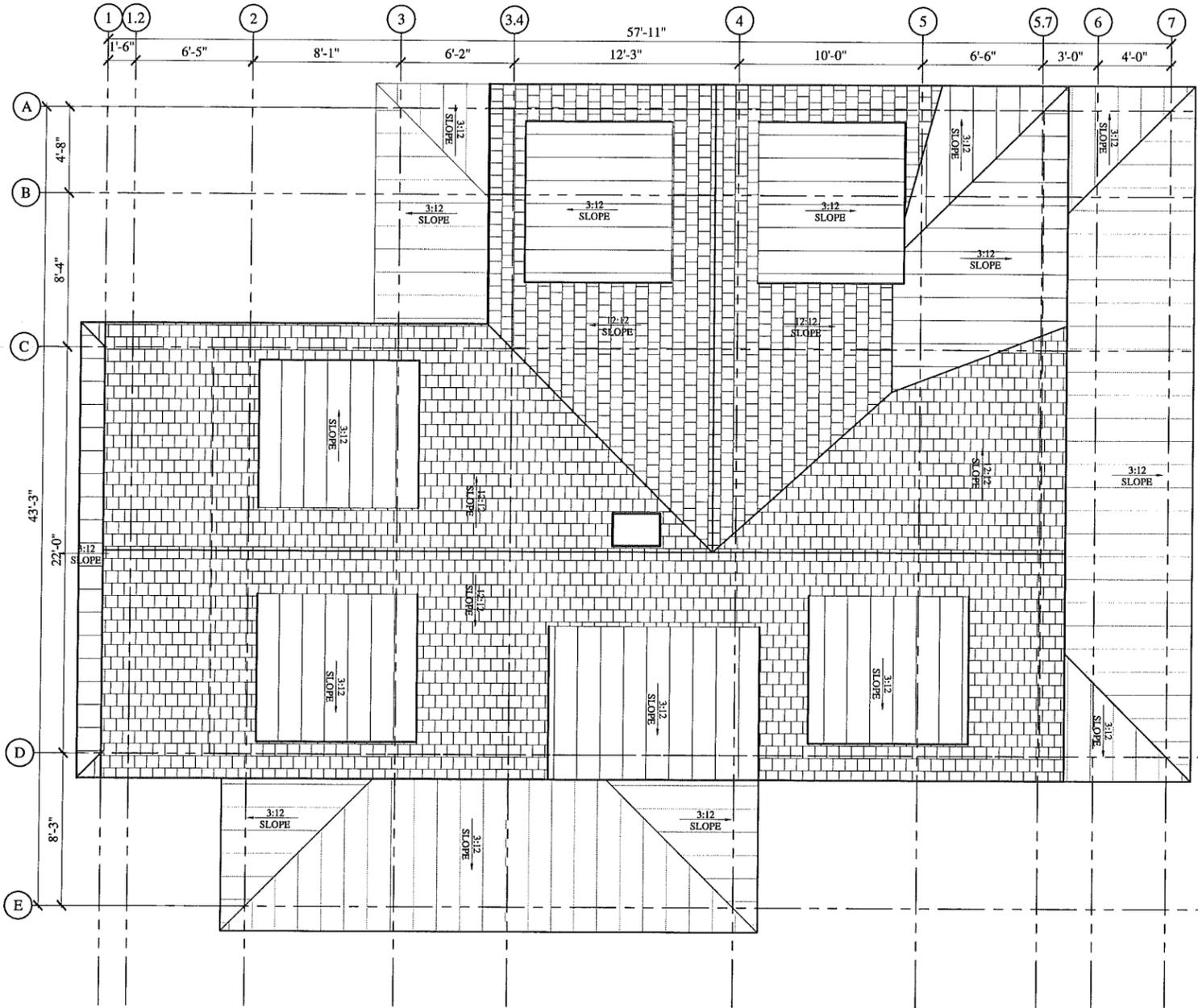
ATTIC PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



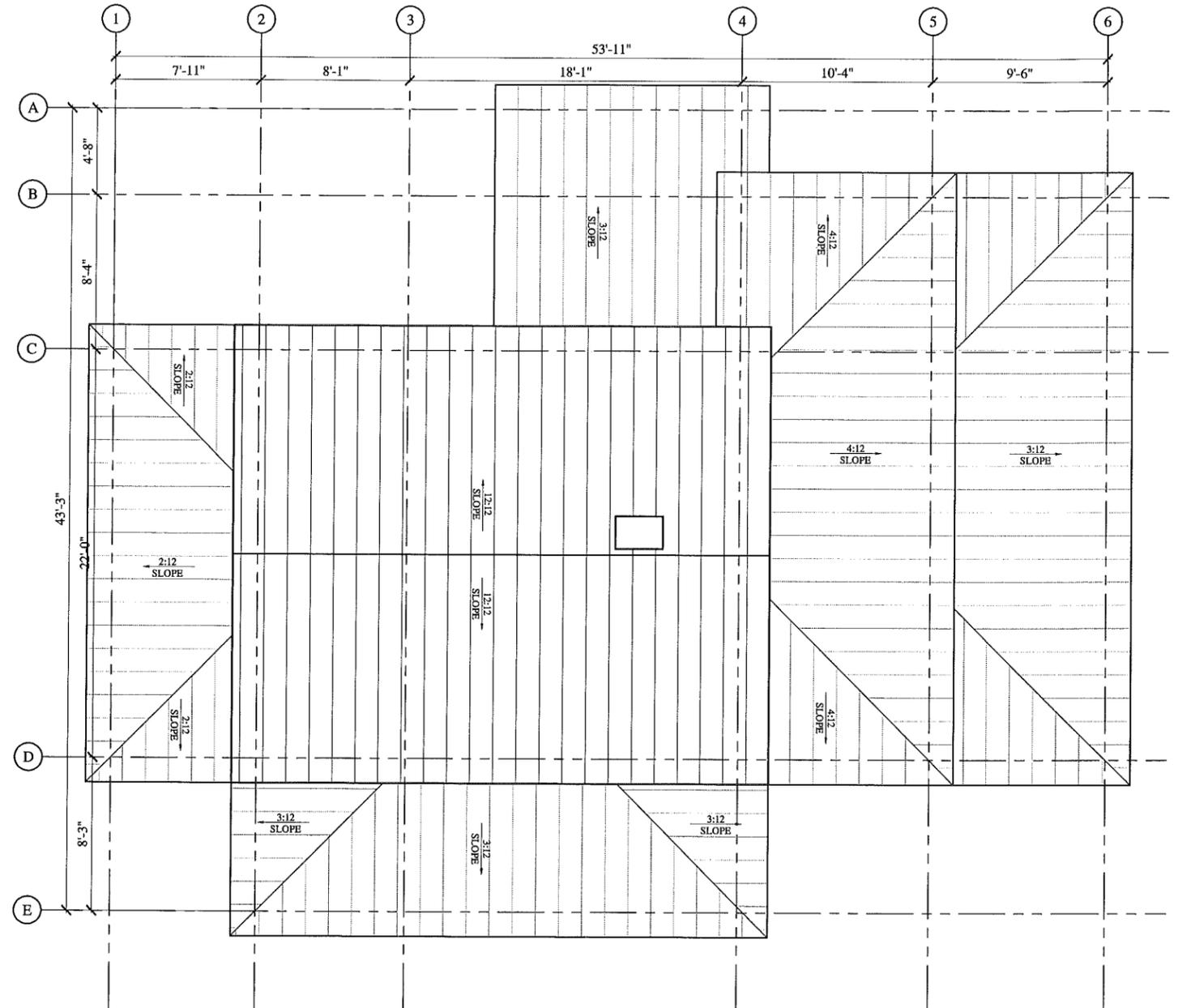
ATTIC PLAN - EXISTING

SCALE: 1/8" = 1'-0"



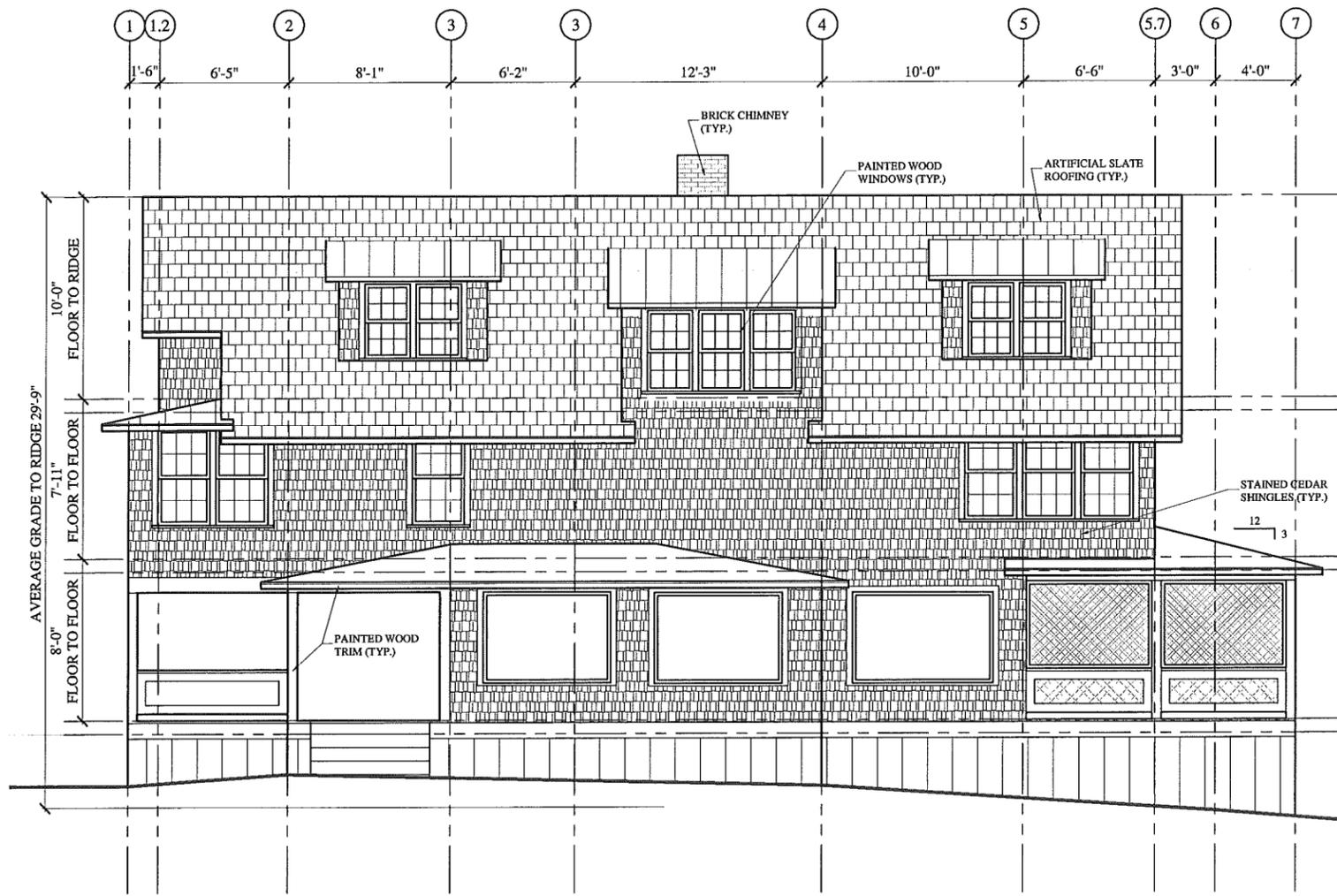
ROOF PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



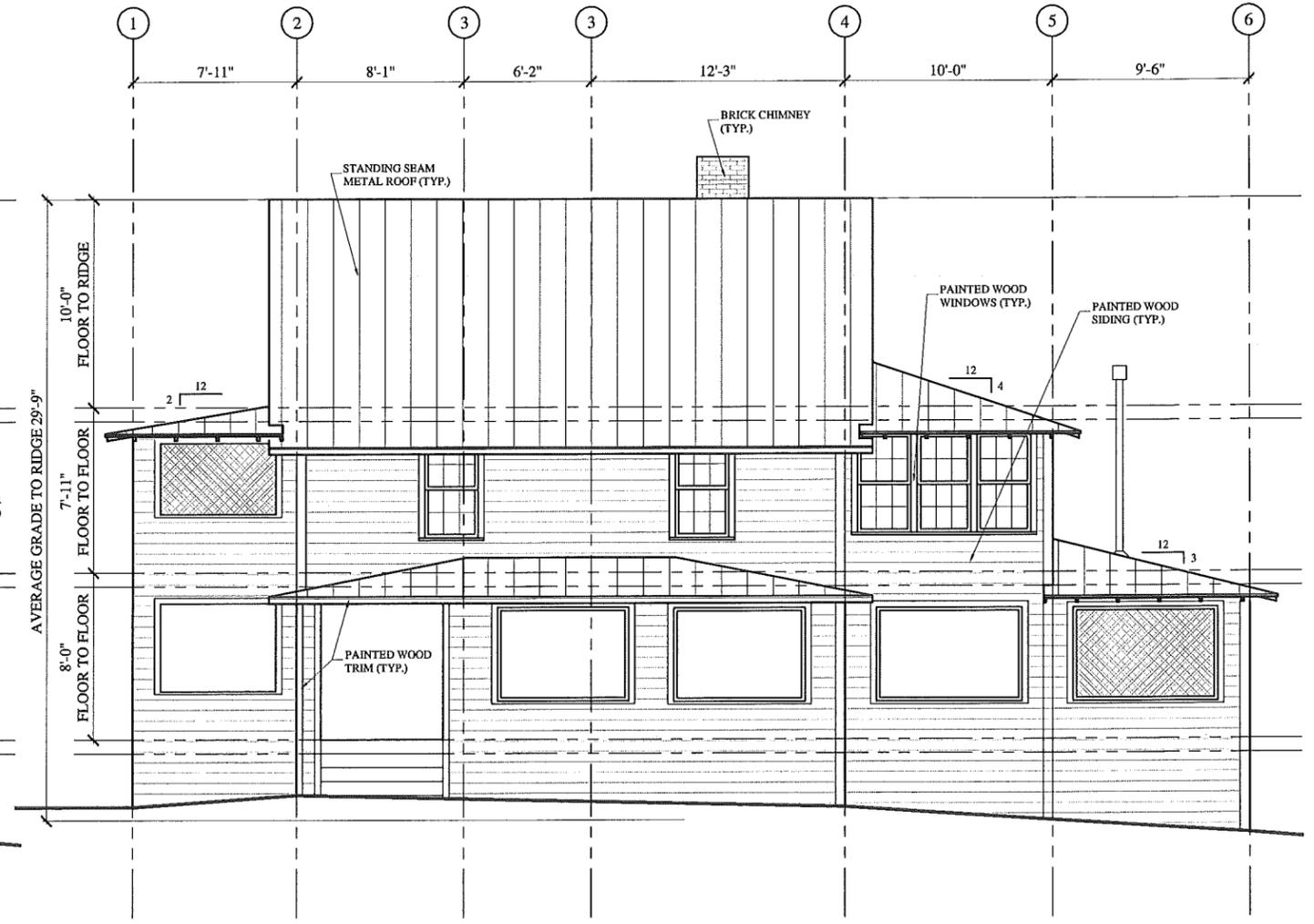
ROOF PLAN - EXISTING

SCALE: 1/8" = 1'-0"



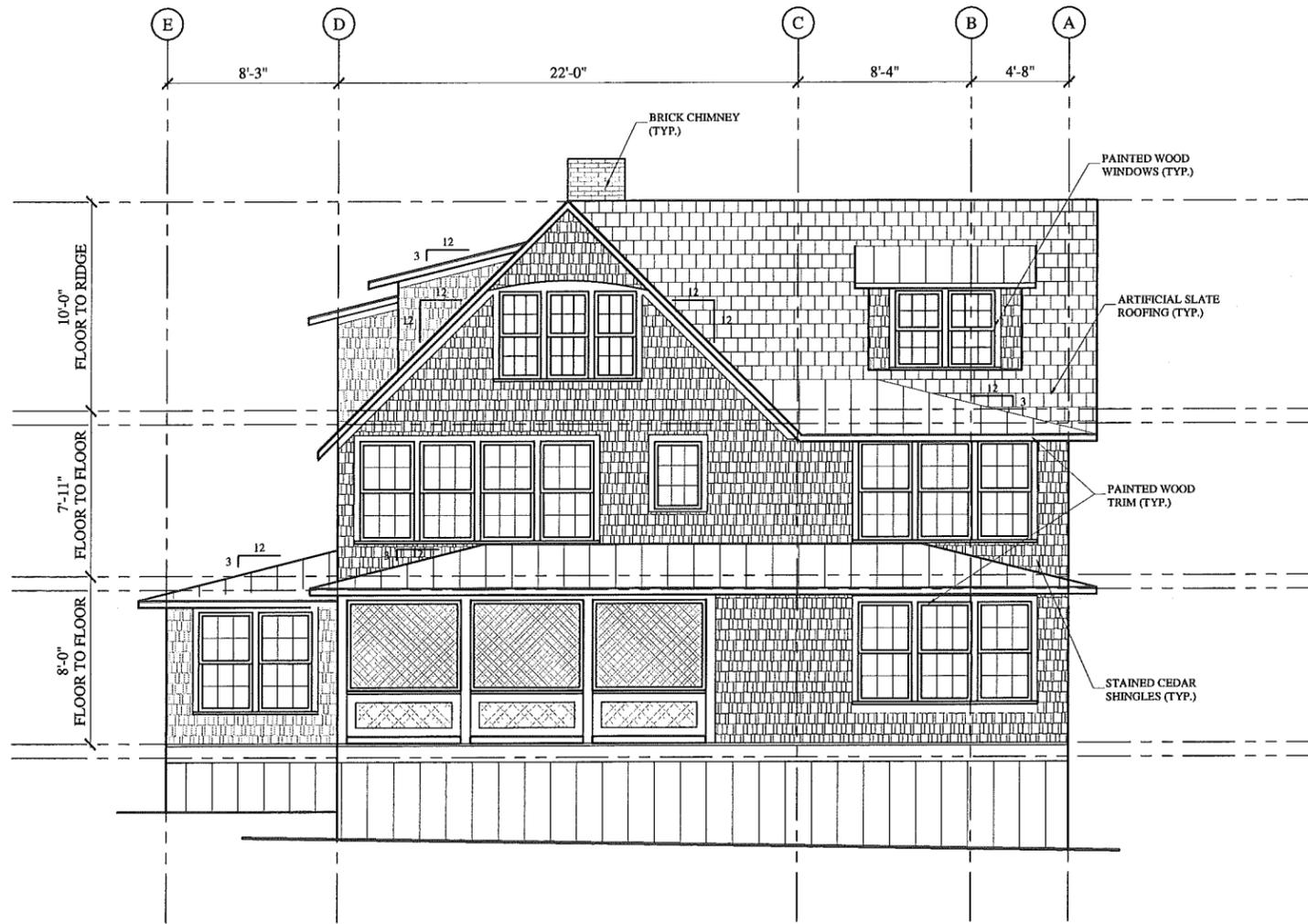
SOUTH ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



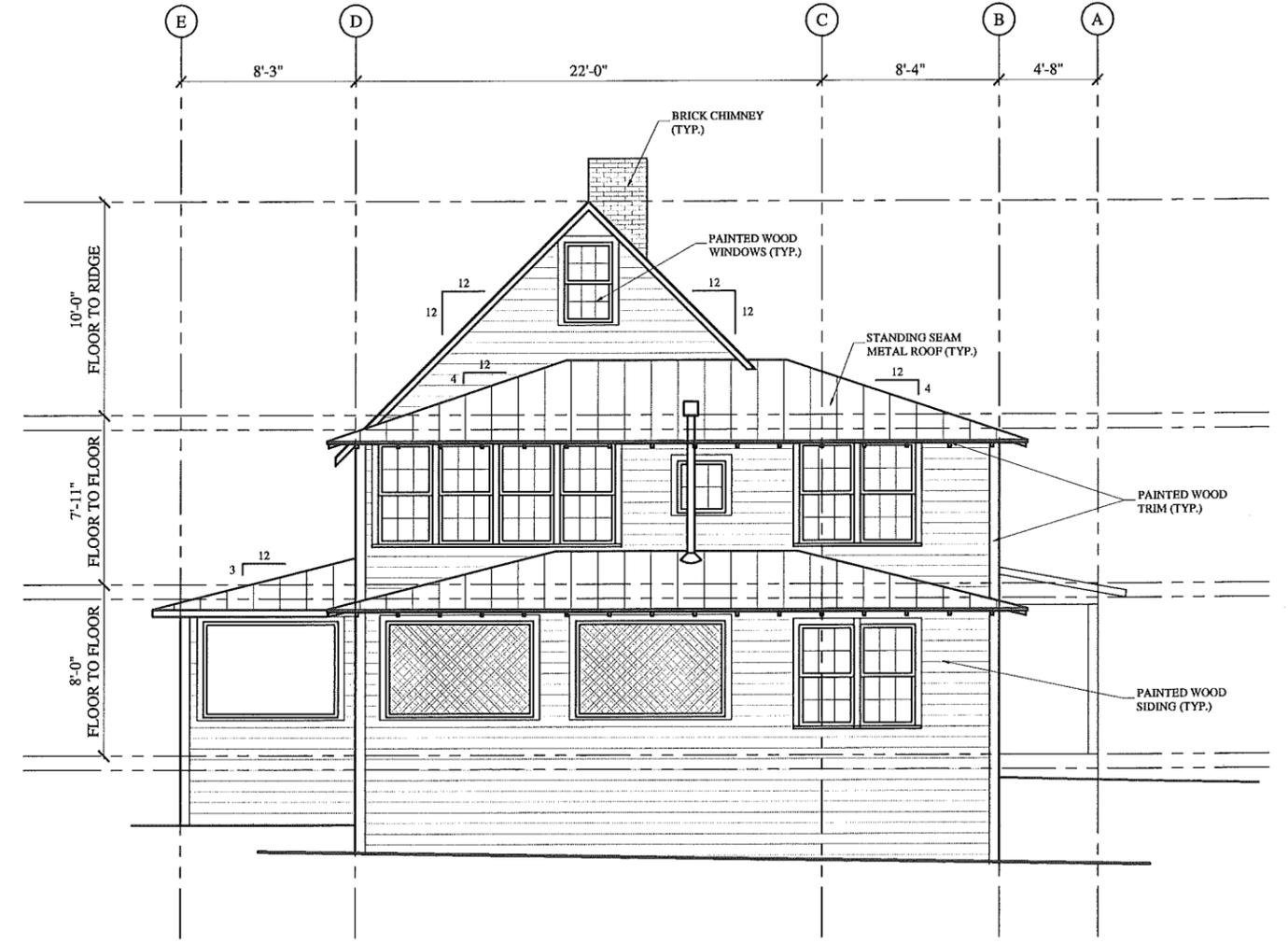
SOUTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



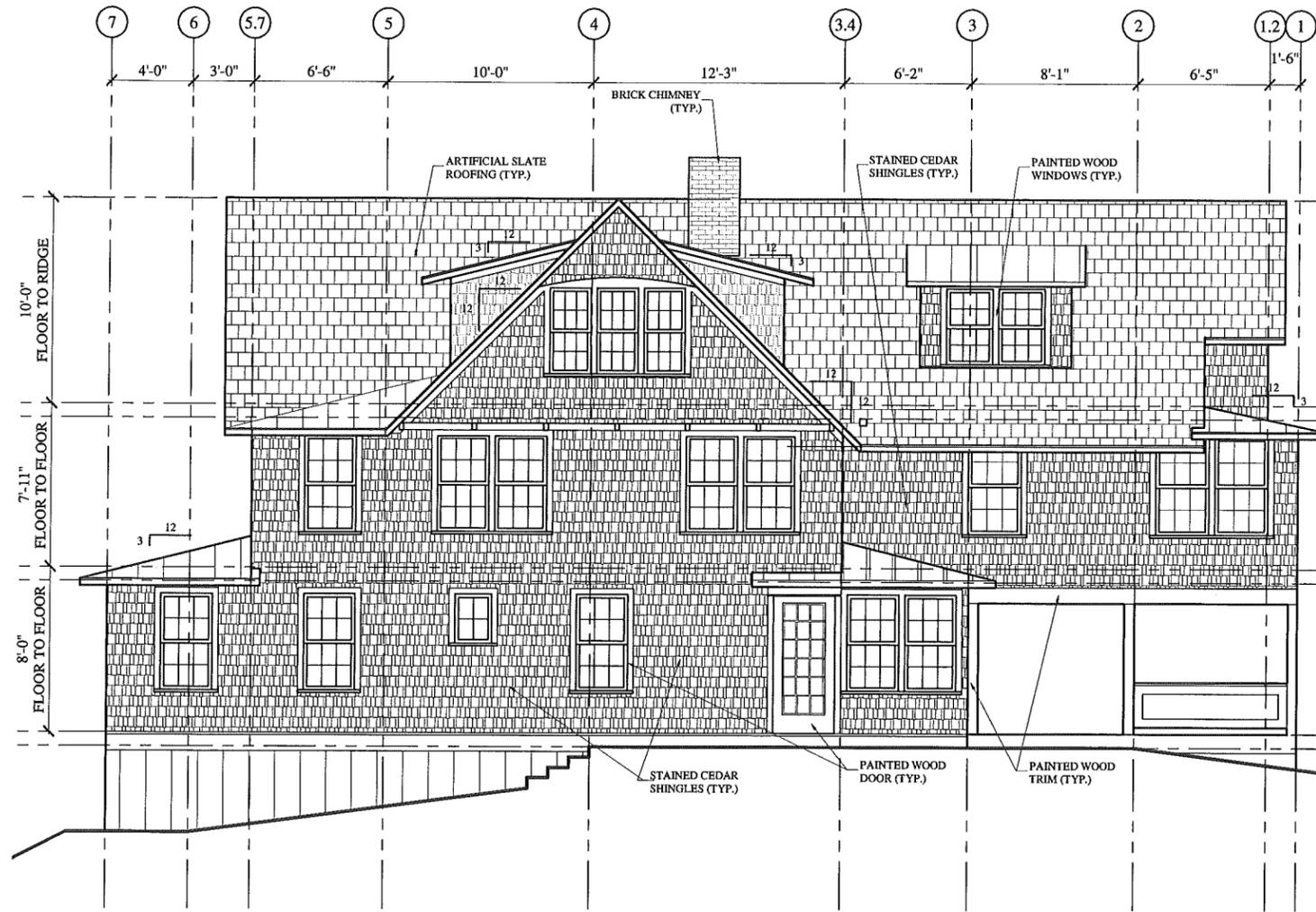
EAST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



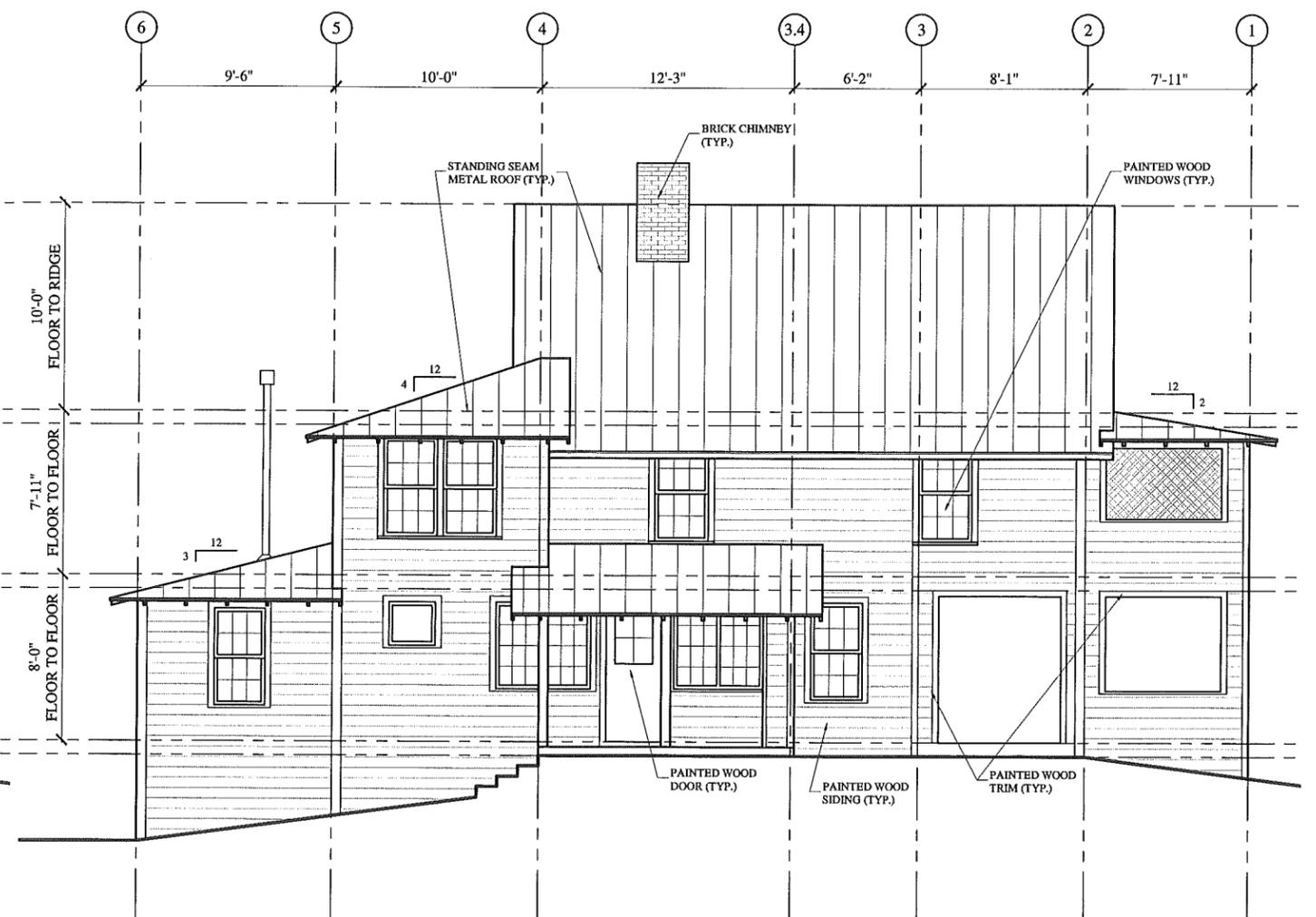
EAST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



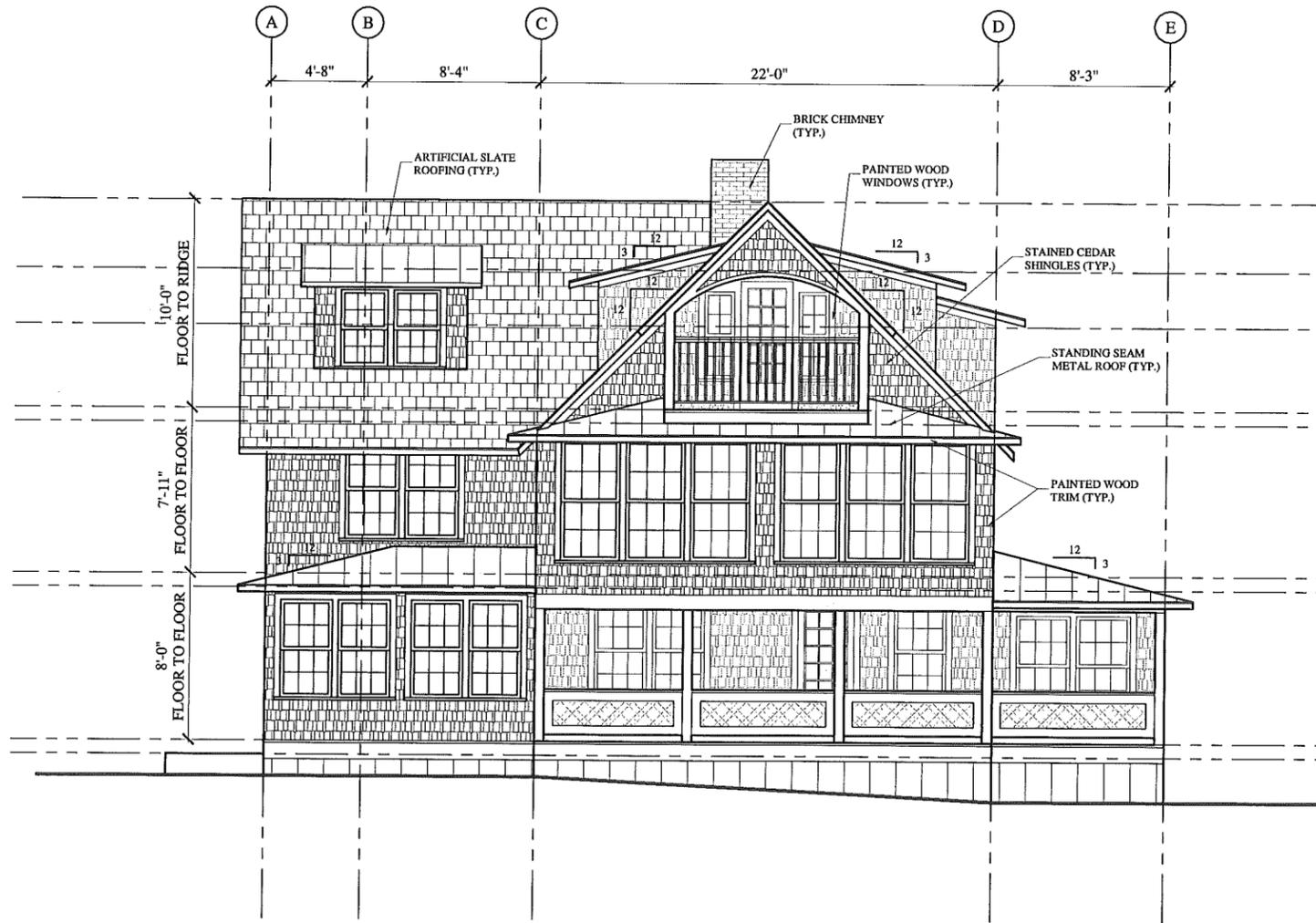
NORTH ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



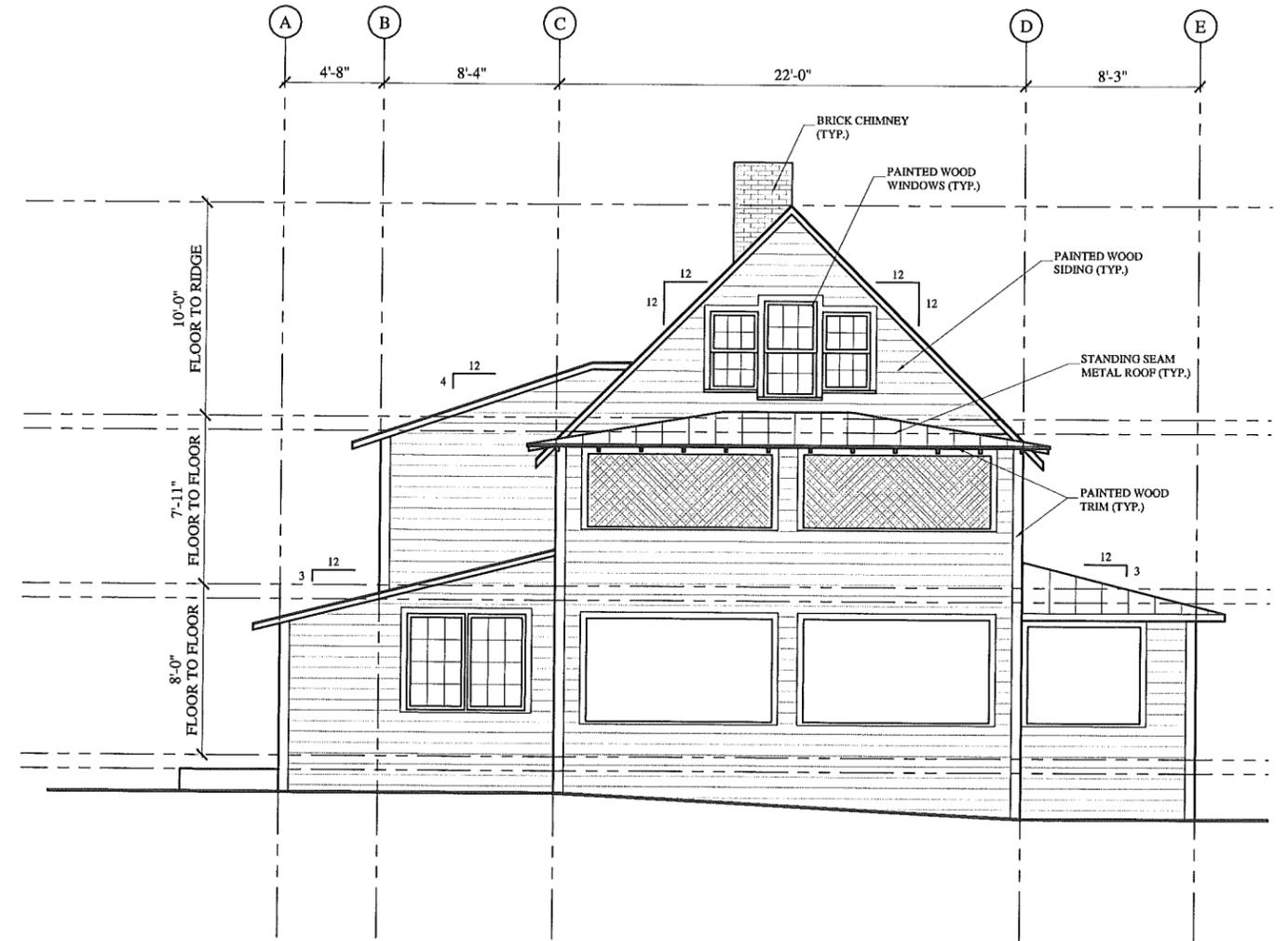
NORTH ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"



WEST ELEVATION - PROPOSED

SCALE: 1/8" = 1'-0"



WEST ELEVATION - EXISTING

SCALE: 1/8" = 1'-0"

Illick Camp Renovation 2668 Thompsons Point.

The Design Review Committee met at the Illick Camp on September 5th. Present for the applicant was Steven Schenker, architect. The site is a little unusual as it covers more than one Lot and totals .93 acres in area. There will be no change to the utilities, grading or landscaping with this proposal. No demolition is planned. As well as improvements to the house, an existing gazebo will undergo maintenance and repair in its current position and will not be increased in size or height as part of this application.

Currently the lot coverage for this property is 4.2 %, the proposal increases the lot coverage to 5%. The majority of the work will take place on the northern and eastern sides of the current structure which will see no increase in height.

The amount of gravel walkways on the site remain virtually unchanged, but will be moved farther away from the house to create a more aesthetic entrance. The existing driveway coverage is reduced by 308 square feet. Setbacks remain unchanged except for the northeastern side yard setback, which reduces from 84 to 78 feet.

On the first floor a small dining area has been created in the northwest corner of the building and four feet (plus or minus) has been added to the northern and eastern side of the first floor to accommodate increases in the size of a covered porch, make a ½ bathroom a three piece bathroom, and enlarge the kitchen and a bedroom.

Existing bedrooms on the second floor are enlarged by occupying the area that is added over the eastern side of the property and by bringing an existing balcony into the interior and splitting it between two existing bedrooms. An additional bathroom is added in the second floor.

The attic is enlarged but nothing is proposed for the area except storage. It should not be a habitable space.

The structure, as proposed, will be a handsome addition to the existing camp. The proposed window treatments (painted), siding selection (shingles that will be stained), and roof angles all mesh well with the aesthetic of Thompsons Point and will be a welcome addition for the owners of the Camp and residents of the area in general.

Additionally:

As a note to the zoning board, in the past, the Design Review Committee recommended against allowing multiple lots to be added together to allow for a greater footprint of an existing camp. It would be a good idea for the zoning board to make a ruling on this point.